# PUBLIC NOTICE



New England District 696 Virginia Road Concord, MA 01742-2751 Comment Period Begins: January 30, 2018 Comment Period Ends: March 1, 2018

File Number: NAE-2017-00897 In Reply Refer To: Mr. Taylor Bell

**Phone:** (978) 318-8952

E-mail: taylor.m.bell@usace.army.mil

The District Engineer has received a permit application to conduct work in waters of the United States from Washington West, LLC located at 17 South Main Street, West Hartford, Connecticut 06109. This work is proposed in tributary at Washington Street & Plaza Drive, Middletown, Connecticut. The site coordinates are: Latitude 41°33'19" Longitude 072°40'45".

The work involves the discharge of fill material into 580 linear feet of stream to allow for commercial development. The proposed project consists of construction of 40,000 square feet of building space for three buildings, supplementary landscape improvements, parking and loading areas, a storm water management system and utility improvements.

The applicant has stated the following "The site plan has been though a number of iterations and the current plan minimizes direct impacts to the large wetland system on site as well as provides a positive solution to the ongoing erosive condition in the existing stream. Impacts to waters of the US will be compensated for by a combination of stream channel restoration and an in-lieu fee. The Corps has not verified the adequacy of the applicant's avoidance and minimization statement at this time.

The work is shown on the attached plans entitled "Proposed Development" on 17 sheets, and dated "December 27, 2017".

# AUTHORITY

Permits are required pursuant to:
Section 10 of the Rivers and Harbors Act of 1899
X Section 404 of the Clean Water Act
Section 103 of the Marine Protection, Research and Sanctuaries Act.

The decision whether to issue a permit will be based on an evaluation of the probable impact of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit which may reasonably accrue from the proposal must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered, including the cumulative effects thereof; among those are: conservation, economics, aesthetics, general environmental concerns, wetlands, cultural value, fish and wildlife values, flood hazards, flood plain value, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food production and, in general, the needs and welfare of the people.

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The U.S. Army Corps of Engineers, New England District (Corps), is soliciting comments from the public; Federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. The Corps will consider all comments received to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

# NATIONAL HISTORIC PRESERVATION ACT

Based on his initial review, the District Engineer has determined that little likelihood exists for the proposed work to impinge upon properties with cultural or Native American significance, or listed in, or eligible for listing in, the National Register of Historic Places. Therefore, no further consideration of the requirements of Section 106 of the National Historic Preservation Act of 1966, as amended, is necessary. This determination is based upon the following:

a. Review of the latest published version of the National Register shows that no presence of registered properties listed as being eligible for inclusion therein are in the permit area or general vicinity.

# ENDANGERED SPECIES CONSULTATION

The Corps has reviewed the application for the potential impact on Federally-listed threatened or endangered species and their designated critical habitat pursuant to section 7 of the Endangered Species Act as amended. It is our preliminary determination that the proposed activity for which authorization is being sought is designed, situated or will be operated/used in such a manner that it is: not likely to adversely affect a listed species or their critical habitat. We are coordinating with the NMFS and/or U.S. Fish and Wildlife Service on listed species under their jurisdiction and the ESA consultation will be concluded prior to the final decision.

# OTHER GOVERNMENT AUTHORIZATIONS

The following authorizations have been applied for, or have been, or will be obtained:	
( ) Permit, license or assent from State.	
( ) Permit from local wetland agency or conservation commission.	
(X) Water Quality Certification in accordance with Section 401 of the Clean Water Ad	ct

# **COMMENTS**

In order to properly evaluate the proposal, we are seeking public comment. Anyone wishing to comment is encouraged to do so. Comments should be submitted in writing by the above date. If you have any questions,

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please contact Mr. Taylor Bell at (978) 318-8952, (800) 343-4789 or (800) 362-4367, if calling from within Massachusetts.

Any person may request, in writing, within the comment period specified in this notice, that a public hearing be held to consider the application. Requests for a public hearing shall specifically state the reasons for holding a public hearing. The Corps holds public hearings for the purpose of obtaining public comments when that is the best means for understanding a wide variety of concerns from a diverse segment of the public.

The initial determinations made herein will be reviewed in light of facts submitted in response to this notice. All comments will be considered a matter of public record. Copies of letters of objection will be forwarded to the applicant who will normally be requested to contact objectors directly in an effort to reach an understanding.

# THIS NOTICE IS NOT AN AUTHORIZATION TO DO ANY WORK.

Diane Ray

Chief, Permits and Enforcement Branch

**Regulatory Division** 

If you would prefer not to continue receiving Public Notices by email, please contact Ms. Tina Chaisson at (978) 318-8058 or e-mail her at <a href="mailto:bettina.m.chaisson@usace.army.mil">bettina.m.chaisson@usace.army.mil</a>. You may also check here ( ) and return this portion of the Public Notice to: Bettina Chaisson, Regulatory Division, U.S. Army Corps of Engineers, 696 Virginia Road, Concord, MA 01742-2751.

NAME:	
ADDRESS:	
PHONE:	

# **Site Plans**

Issued for Local Approvals

Date Issued April 19, 2017

Latest Issue December 27, 2017

# Proposed Development

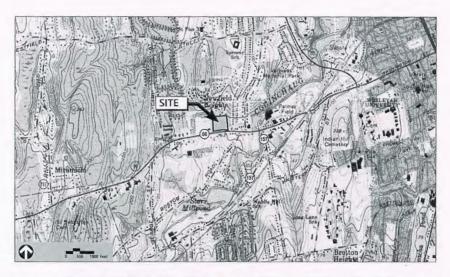
Washington Street and Plaza Drive Middletown, Connecticut

# Assessors Lot Information & Owner Information for Parcels Involved:

Address:	Address:	Address:
808 Washington Street	782 Washington Street	768 Washington Street
Parcel Number:	Parcel Number:	Parcel Number:
14-0023	14-0021	14-0019
Owner:	Owner:	Owner:
Washington West LLC	Washington West LLC	Washington West LLC
17 South Main Street	17 South Main Street	17 South Main Street
West Hartford, CT 06107	West Hartford, CT 06107	West Hartford, CT 06107
Address:	Address:	
804 Washington Street	778 Washington Street	
Parcel Number:	Parcel Number:	
14-0022	14-0020	
Owner:	Owner:	
Washington West LLC	Washington West LLC	
17 South Main Street	17 South Main Street	
West Hartford, CT 06107	West Hartford, CT 06107	

# Applicant:

Washington West LLC 17 South Main Street West Hartford, CT 06107 860-233-6211



Sheet	Index	
No.	Drawing Title	Latest Issue
C-1.0	Legend, Abbreviations & General Notes	12/27/2017
C-2.0	Layout & Materials Plan	12/27/2017
C-3.0	Grading & Drainage Plan	12/27/2017
C-4.0	Constructed Stormwater Wetland Basin Plan	12/27/201
C-4,1	Stream Channel Protection Plan	12/27/201
C-5.0	Utility Plan	12/27/201
C-6.0	Erosion & Sediment Control Plan	12/27/201
C-7.0	Site Details 1	12/27/201
C-7.1	Site Details 2	12/27/201
C-7.2	Site Details 3	12/27/2017
C-7.3	Site Details 4	12/27/201
C-7.4	Site Details 5	12/27/2017
C-7.5	Site Details 6	12/27/2017
L-1	Planting Plan	12/27/201
L-2	Planting Details	12/27/2017

Refe	rence Drawings	
No.	Drawing Title	Latest Issue
Sv-1	Property Survey & Topographic Survey	2/25/2016
SL-1	Site Lighting Plan	4/21/2017



## Site Lighting:

Hubbell Lighting, Inc. 701 Millennium Blvd Greenville, SC 29607 Contact: Tim Kelley 860-282-0597 x1106

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100 Great Meadow Road Suite 200 Wethersfield, CT 95109 860.807.4300

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Washington Street and Plaza Drive Middletown, Connecticut Development Proposed

PER CITY STAT COMMENTS

Local Approvals lot Approved for Cors April 19, 201

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100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860.807.4300

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Sign Summary
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Proposed Development

Washington Street and Plaza Drive Middletown, Connecticut

Local Approvals

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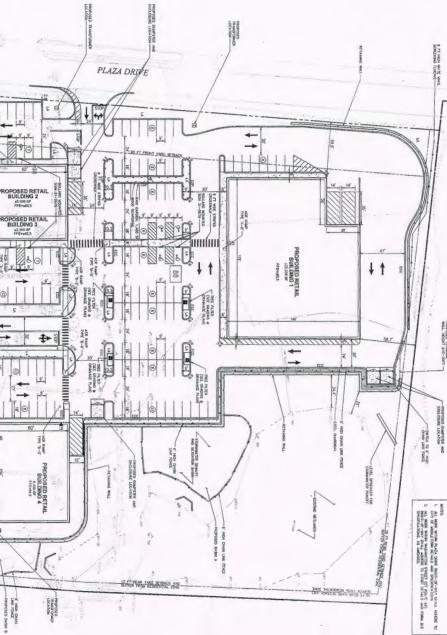
WASHINGTON STREET (ROUTE 66)

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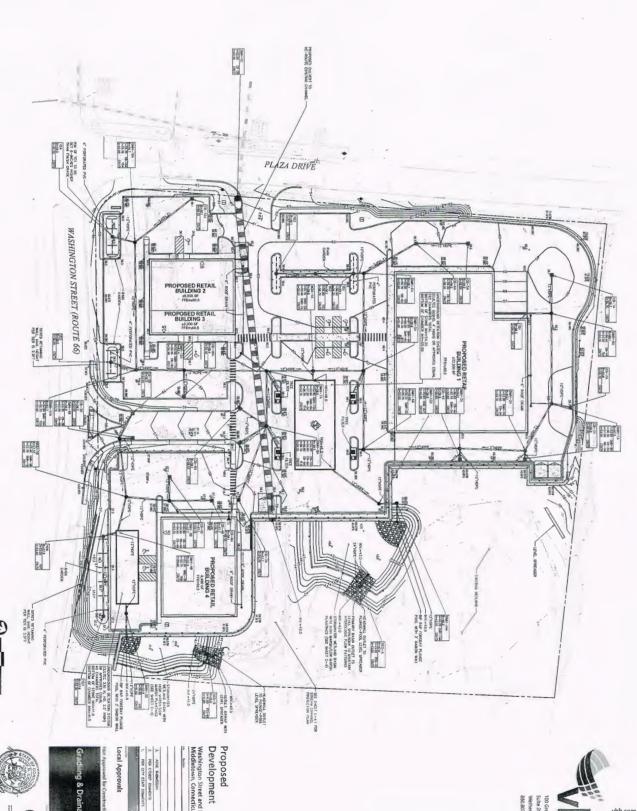
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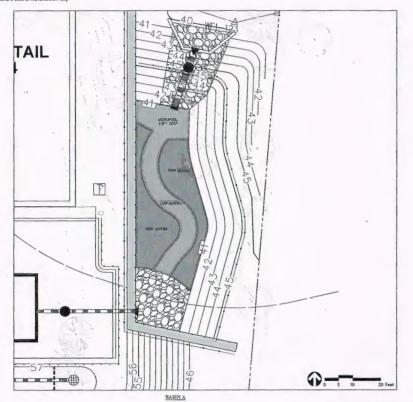


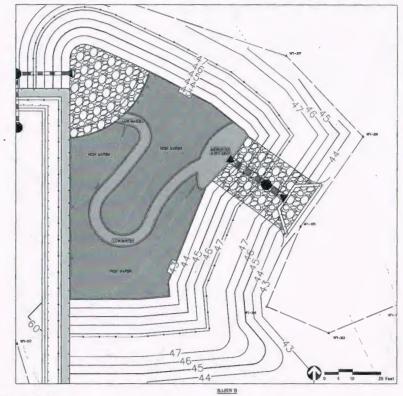
100 Great Meadow Road Suite 200 Wethersfield, CT 06109 850.807.4300

Local Approvals

Washington Street and Plaza Drive Middletown, Connecticut

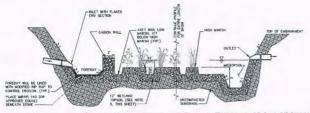
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Suite 200 Wethersfield, CT 06109 860.807,4300



CONSTRUCTED STORMWATER WETLAND BASIN: TYPICAL CROSS SECTION

## STORMWATER WETLAND BASIN CONSTRUCTION SEQUENCE

- DE CITY OF MEDICATIONS CHARGEST AND PLAND WETLANDS COPARTMENT DIVIL BE NOTIFED FIVE BASINESS DAYS IN ADVANCE OF ANY PRASE
- 2) A QUALIFICO RETURNO SCIENTIST RESPONSIBLE FOR DES PLANTINO CESTON SHALL SE MOTIFIED AN HICKINS PRIOR TO ANY PHASE OF THE PLANTING TO MONITOR AND ONDIGED IMPLICAÇITATION OF THE CONSTRUCTION OF THE VARIAGE METANIC
- 4) IMMOR MODIFICATIONS TO THIS GRADING PLAN MAY BE MADE BY THE WITLARD SECRETARY IN PROPERTY TO DESCRIPTION SUBSIMIFACE INTRIBUNANT CONFIDENCE ON MICHIGAN OF ADMINISTRATION PROPERTY MYDICALDRY COMPUTED FOR THE VANIOUS CHARITO METRIAND VARIETATIA.
- 3) WEARING FORCE, CONSISTING OF A 1-1 METAIN, (OR ELEAN-NELMAS), OF OWN-MAN, MARKES, THAT CONTINUES THE CONTINUES AT THAT 13 FERRITOR IN CHARGE SHEED SHEED AND CONTINUES AT METAIN AT THE CONTINUES AND CONTINUE

### (S)1) CONTRACTOR SHALL SUBMIT A SAMPLE OF THE WETLAND TOPS IN FOR TESTING PROOF TO DESTAIL ATION AND SHALL BY APPROVED BY THE WETLAND SCHOLTS!

4) DE CAMPION DE SOURCE DE LOUIS DE LA CHIUSTORI E DI LE MELLOS DESCRICTORIS DE LA CHIUSTORI E DI LE MELLOS DESCRICTORIS DE LA CHIUSTORI E PIÈ L'ANDIGO DI LOUIS DE LOUIS DE L'ADRIGUE DE L

- PRIOR TO PLANENCE, DIE ANSIE DOTTEM MEL BET LIMED MIN BEDDOM CONTROL MATTRICE, BARNI SIDE SLOPES MEL BET PLANEND MEN THE RECOMMENDED NATHE SIZES MECHAEL (SIZE TARKE II), AND THEM CONTROL MATTRICE SIZES MECHAEL CHITTING AND ALL BET MEY EXELUTE METHAD PLANES, BEC. (613-744-74000). SIZE SIZESON CONTROL MATTRICE OF A PRIVINCE COMPANY CANTERS.
- 4) CINSTRUCTED STORMANDS PETLAND BASIN PLANTINGS WILL TAKE PLACE ONCE THE ABOVE LISTED TASKS HAVE BEDI CONFLICTED. THE SYNDES, VIZ. AND QUARRITY OF the PLANTINGS WILL TOLLOW the CONSTRUCTED STORMANDS INCTIAND BASIN PLANTINGS SPECIAL FORMER TOLLOW TO MANY.
- 49 FIGH TO GOLDON'S TO THE UTILL'S THE WINDOWS WILLIAMS COLDISITATE VEHICLES. THE WINDOWS DOT FOR WINDOWS TO THE OWNERS BY THE WINDOWS TO THE WINDOWS WILL BE CONTRIBUTED ON THE WINDOWS THE WINDOWS WINDOWS THE WINDOWS TH
  - D) ALL PLANTINGS TO BE SPACED EQUIDISTANT TO PROVIDE A BRINGE PLANTING BED FOR EXTECTIVE STORMARTER TREATMENT. PLANTINGS WILL BE PLACED IN HELES CREATED IN DISC PROBER CENTRIC, NATING.
- 1) THE CONSIDERTON HIND TO BRUD THE CONSTRUCTOD STORMANISTS WELLAGO MASSIM SHALL ATTOM THE PRE-CONSTRUCTION WET THE THE CONFIDENTIAL SHALL BE REPRESENTED FOR THE CHAPTAL BESTALLANDS, MARTIDANCE (ROLLINDS MATTERS OF RECUSSARY), AND ESTABLESHMENT OF THE FLANT HARBOR, IN THE RESIDENT PARTY ALL FLANTS SHALL BY GUARANTED BY THE CONTINUENTS TO BEDAMA HARE AND HALBY FOR A FILL TROOT FOUR (FS) MORTH PER TO BEDAMA HAPE AND HALBY FOR A FILL TROOT FOUR (FS) MORTH PER TO.

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perpenium anunicanum	Buffled	3" pluge	2FT-0-C	96
ligh Mersin				
larex Appellise	Hop sedge	2º plugs	2FT-O.C.	153
encus efficues	Soft rush	I" pluge	2FT-0.C.	133
la vecalizator	Sive day ide	2" pluge	2FT-Q.C	133
chous altowners	Grean buttyeeh	2" pluge	2FT-0.0	133
cirpus cyperinus	Woolgreen	2" plugs	2FT-0.0.	123
Toropool & Edge of probay				
Porstection in conclude:	Pickershvend	2" pluge	2FT-O.C	50
legitleris kultula	Northern	2º pluga	SET-O.C.	80

Scippus eshalar Standard Stand

## Proposed Development

Washington Street and Plaza Drive

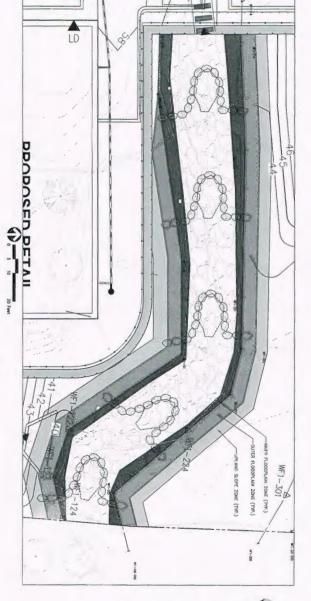
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Ť	1	MRG
Lo	cal Approvals	April 19, 2017

Net Approved for Construction





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Wethersfield, CT 06109 860.807.4300

Suite 200

vhb.com

# Planting Notes

- MODY/BARE MODESTON AND SEED WIRES SHALL BE OBTAINED FROM A MARKERY THAT SPECIALIZES IN NATIVE ECOLOGICAL PLANTINGS, ALL MATERIALS HAIST BE INSPECTED AND WARRINGT BY THE METHAND SCIDINGS PRICE TO BEING PLANTED.
- NOTOY AND BATE ROOT STOCK WILL BE WESTALLED IN HAIR-DUD HALES RANDOMLY SPACED THROLOGICST SLOW FLANTING AREA AS EMECTED BY THE WESTAMD TORDISHES, MACH SWALL BE SPREAD AROUND CACH PLANT IN ACCOMPANCE WITH THE DESIGN.
- DOMAIN! THE STAND OF PRECISED SHALL BY OWNERD THIS A HARDEN FIAT SPECIALIZE OF AREA COLOUGY, REARING LIVE STRAINS. LIVE STANDS A PREMISE ALEAD COMBINE AND HE CONTRACTED THE REAL COLOURS AND RECEIVED AND AREA COLOURS AND RECEIVED AND AREA COLOURS AND HE STAND AND AREA COLOURS AN
- PLANTING AND SEEDING DATES ARE AS FOLLOWS UMITSS APPROVID OTHERWISE BY THE WEILAND SCIENTIST.
- EXEMPTED PLANTINGS APPL I = JUNE I OR SEPT. I = NOV. I OCCUPANTS PLANTINGS. APPL I = JUNE IS DR OCT. I = NOV. I
- opsol yao ing shikar shah ng kagarata yao natito najar 1546. Sami ng gatan shikar atang atang berjah sagarata Na 190 Janas 1819 dojo an abin "An Caressora (Parco atang at Kalidari) sagaratan shar ng katan atang atang ata Nasar 1904 da shikar shah ng kagarata yao natito najar 1546. Sami ng gatan aka atang atang atang atang atang a
- LOOSEN MOOTS AT THE CUTTH EDGE OF MOOTHMAL OF CONTAMES CHOME SHOURS.
- CHOICH TO DE PLANTED AT MIEDRACE DETRECH (MESTREIM AND DOWNSTREIM DURS OF CHAMPEL AND POTO/ANTIDAL NETLAND. I ARTRICHE GHACS NEL DE ESTABLISHED NITHMI THE UPLAND BAFTET TOME ANGAS TO DRAWACE MEDIUTE VILLE OF THE ANGA.
- PLANTHOS DAVIL BE INSTALLED BY HAVE AN LOCATIONS DENTINED BY THE WEILAND SOEWIST.
- WETHER SHALL BE APPLIED AT A RATE OF 0.4 LES/1,000 SF
- COMESTIVATION/MILDUTE MIX WILL BE APPLIED TO LIPUMD AREAS AT A NATE OF OS LIBS/A, DOO ST.
- THE COMPANIES IS RESPONDED FOR A MINETY (NO) DAY MAINTENANCE PURDO WHICH SEEING LICHE MINITEN ACCEPTANCE OF THE SECOND AND PLANTAIN BY THE WELLAND SCIONER, MAINTENANCE SHALL INCLUDE:
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- ISS. ALL PLANTINGS SAULD BE TRUDOUDALY SATURATED AT LEAST TRACE PER WELK DURBAG MANTEHANCE PERSON. PROTECT PLANTEN AREAS AND PLANTS AGAINST TRESPASSING AND DAMAGE OF ALL KNOS FOR THE DEPARTOR OF THE LEARNESHING PRODUCT PLANTS RECOMMEDIATED ON MEMBERS, THEY SHALL BE TREATED ON REPLANTS AS DEFINED.
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Caphaton/Mrd ordernicits Battenbush
Seed Mile: New England Westmite INNER FLOODFLAIN ZOME

BOTANICAL HAME	SHAWN MOWINGS	3735
Albus income	Spedded Adder	Bare root (min 2'HT)
Lindero benara/n	Common Spicebush	Bar's root (min. 2' HT)
Clethro alvifolio	Sweet Papparbush	Bare root (min. 2' HT)
Altrius Incoms	Specially Aider	3-4' HT
Lindera Benzoin	Cogymon Spicebush	3-4'HT
Clethro alaylalla	Sweet Pepperbush	3-4' 147
Corners suppression	Silby Dogwood	3-4' 87
Comus ornovium	sulky Dogwood	(Ive stake or tubeling

BOTANICAL HAME	COMMON NAME	502	
Comes racemoso	Gray dogwood	2-3'HT	
Viburium accijatium	Mople Leaf Vibursum	347	
Cornus okurnifodo	Alternate-leaved Dogwood	3-4" 257	
Μητέου ροπεγήνατήςτ	Bayberry	2-3" HT	
Seed Mr.: New England Conservation/Wildlife Mip	onservation/Whitifile Mile		
UPL	UPLAND BUFFER ZONE		
BOTANICAL NAME	COMMON NAME	202	
Control mornoss	Gray dogwood	2-3' MT	
Viburnum acmfalium	Maple Leaf Villumum	3-4" 117	
Comus atternifolia	Alternate-leaved Dogwood	3-4" HT	
Αήπου μετιγένατές ο	Sayborry	2-3" 111	
Plant strobut	Eastern white Pine	4-6" HT	
Avalaceus vérgialons	Eastern Red Certar	4.6° HT	
Quercus rubre	Northern Red Oak	3-4" HT	
Quercus rubro	Northern Red Oak	12-15' HT	
Frankry Amerikana	White Ash	3-4" 117	
Frazhuz Americana	White Ash	13-15. FL	
Canada Name Canada	Control of the Control of the Sale		

# Planting Schedule SZZ Uve stake or tubeling Uve stake or tubeling 3-8 HT

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# Proposed Development

Washington Street and Plaza Drive Middletown, Connecticut

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Local Approvals April 19, 2017

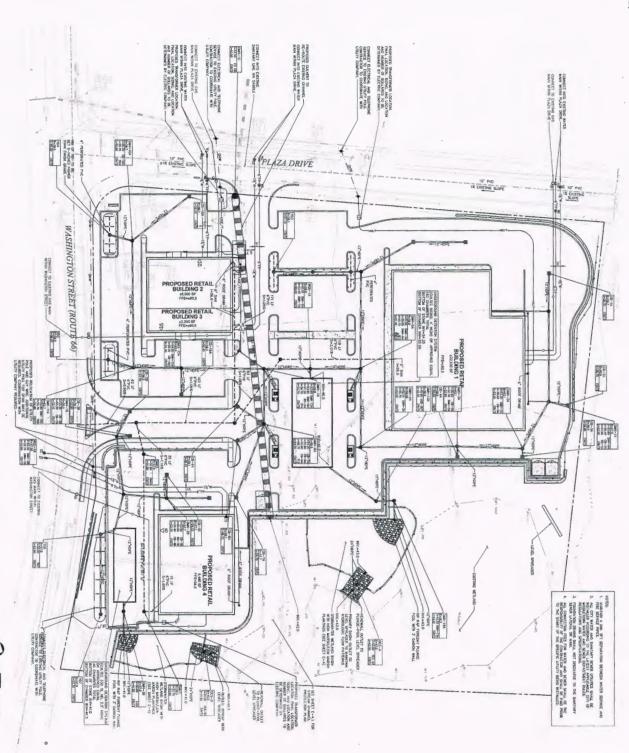




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Proposed Development

Local Approvals April 19, 2017

Washington Street and Plaza Drive Middletown, Connecticut

100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860,807,4300

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> Development Proposed

Washington Street and Plaza Drive Middletown, Connecticut

Local Approvais

April 19, 2017

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HASHINGTON STREET (ROUTE 66)

OF CONSTRUCTION (TYP)

BALE PROTECTION FOR ALL CATCH
BASINS AND AREA DRAINS (TYP).

PLAZA DRIVE PHASE PHASE 3 PROPOSED RETAIL
BUILDING 1 四 四 四 四 8 BALE PROTECTION FOR ALL CATCH BASINS AND AREA DRAINS (TYP). 1 4 PHASE 2 STRAW BALE (TYP) EROSION CONTROL MATTING
(TYP), MATTING TO BE CUREX
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APPROVED EQUAL STRAW WADDLE (TYP) AT TOE OF SLOPE TO PROTECT BASIN HASH MAY BE USED AS TRAPOSARY SETTING VANDAL CONTROL TOWN AN A FINDER OF THE MAY BE USED AS TRAPOSARY SETTING VANDAL THE BASSA (TO A DEPTH APPROXED OF THE LIBERT SHALL BE REMOVED THE LIBERT WAS DEPTH APPROXED OF THE LIBERT WAS A DEPTH APPROXED OF THE LIBERT WAS A DEPTH APPROXED OF THE LIBERT WAS A DEPTH APPROXED OF THE WAS A DEPTH APPRO STRAW BALE (TYP) AT TOE OF SLOPE TO PROTECT BASIN





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Control Plan



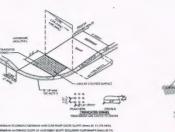




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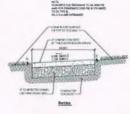
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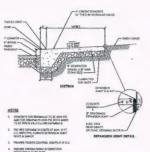
- Accessible Curb Ramp (ACR) Type 'B-D'

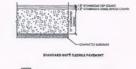




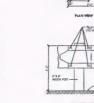
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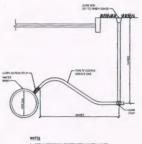


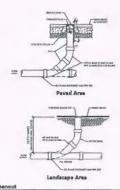


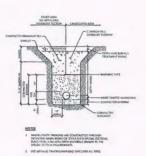


Monolithic Concrete Curb (MCC) & Sidewalk Bituminous Concrete Pavement Sections ,







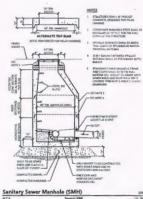


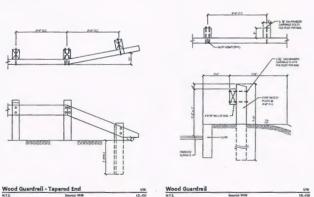


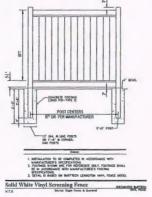


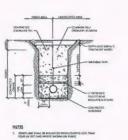
















Washington Street and Plaza Drive

Suite 200 Wethersfield, CT 06109

860.807.4300

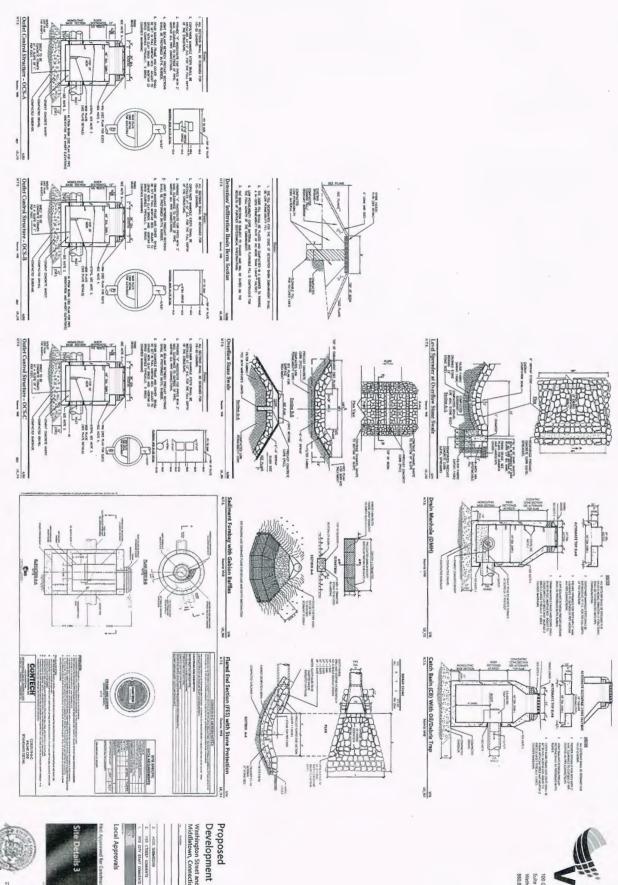
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April 19, 2017 Local Approvals





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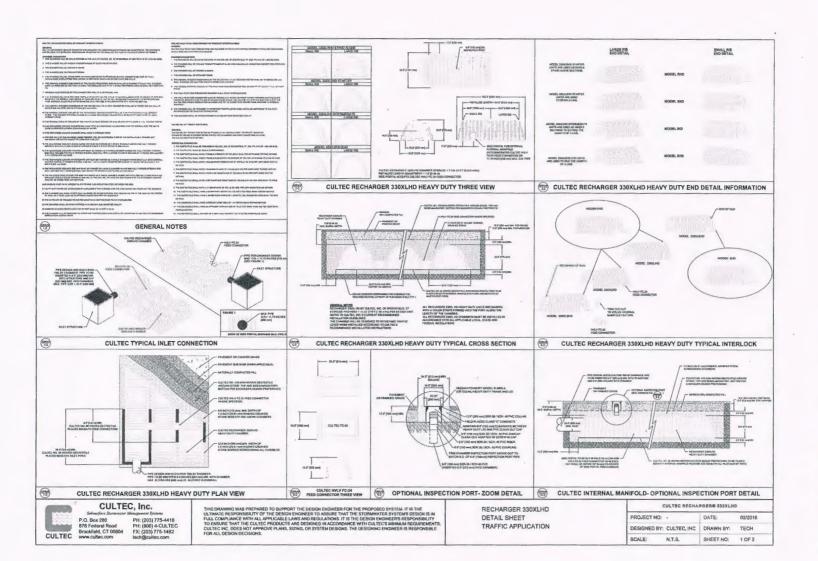
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April 19, 2017

Washington Street and Plaza Drive Middlatown, Connecticut

100 Great Meadow Road Suite 200 Wethersfield, CT 06109 B60.807,4300





## Proposed Development

Washington Street and Plaza Drive Middletown, Connecticut

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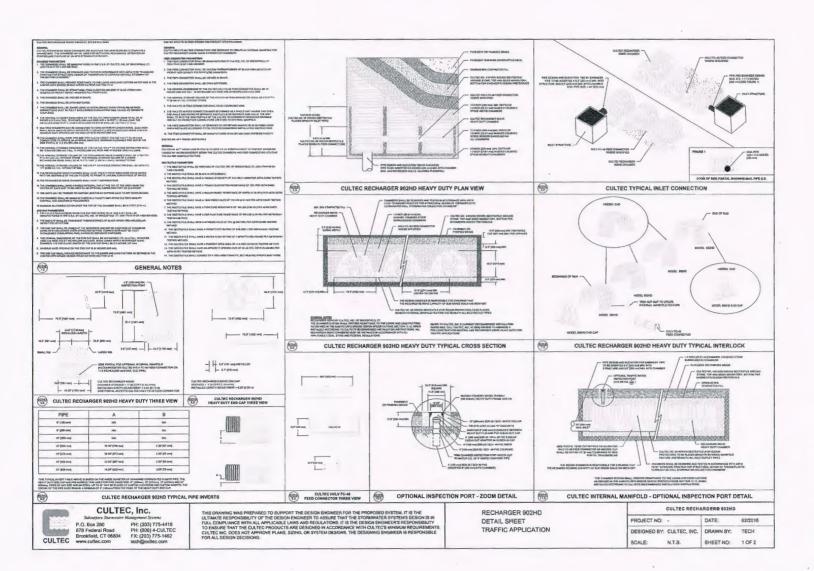
Local Approvals





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# Proposed Development

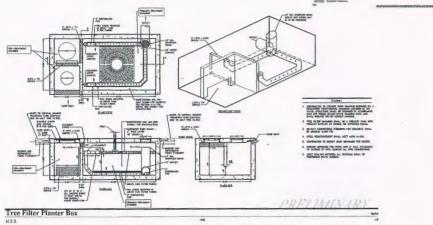
Washington Street and Plaza Drive

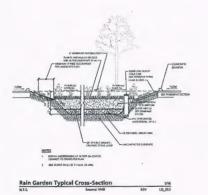
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3.	ACCE SUBMISSION	12/27/2017
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1.	PER CITY STAFF CONNENTS	5/1/2017
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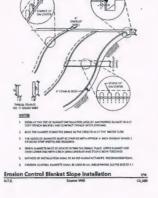




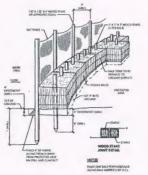




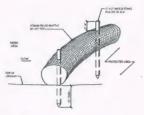










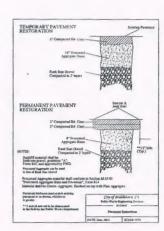


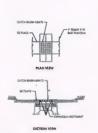
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Straw Wattle -	Erosion Control Barrier	1/16
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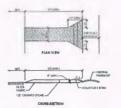




NOTES

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- TABLE SEE CONSTRUCTION BOT SHALL BE REWOVED PRICE TO FIN FRACE MAN'S BRACK STONE SECTION SECTION SEC

Stabilized Co	nstruction Exit	
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Proposed Development

Washington Street and Plaza Drive Middletown, Connecticut

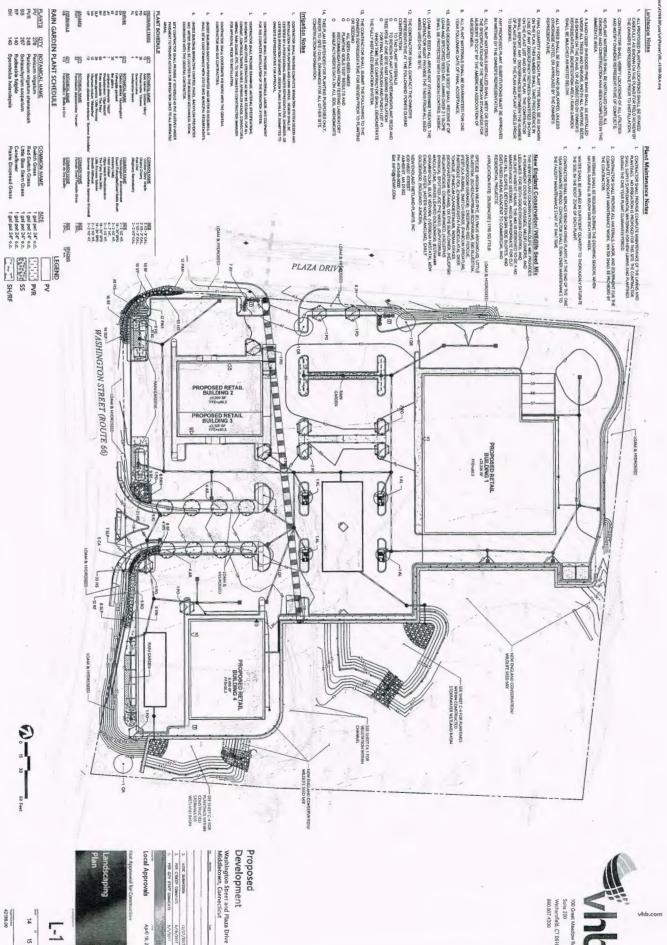
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7	ACDE SURMISSION	12/27/	2017
2.	PER CTOEEP COMMENTS	9/19/2	017
	PER CITY STAFF COMMENTS	5/1/20	

Local Approvals April 19, 2017





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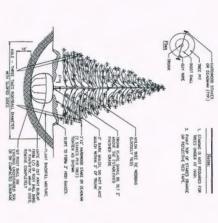
100 Great Mea Suite 200

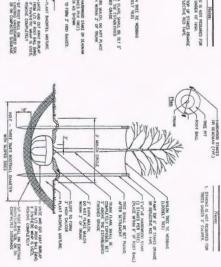
Wethersfield, CT 06109 860,807,4300

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April 19, 2017

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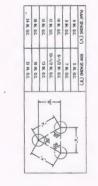


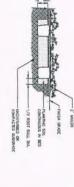


100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860,807,4300



Evergreen Tree Planting





Ground Cover Planting

Shrub Bed Planting

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Notes	(3841)	ROOT BA		J. PARL BANK MOTCH	VIT SHE
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3/1/2017	PCR CITY STATE COMMONTS	=
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